

Memo



Date: May 5, 2010
To: City Manager
From: Community Sustainability Division
File No: DP09-0117 **Applicant:** OSA Architect and Ted Thomas & Associates
At 608 & 650 Sutherland Ave **Owner:** Synod of the Diocese of Kootenay
1876 Richter St
Purpose: To consider a Development Permit for the form and character of additions to St. Michael's Cathedral Church, including a workshop, lounge, classrooms, and washrooms.

Report Prepared by: Andrew Browne

1.0 RECOMMENDATION

THAT Council authorize the issuance of Development Permit No. DP09-0117 for Lot 1 District Lot 14 ODYD Plan 7431, Lot 3 District Lot 14 ODYD Plan 7431 Except Plan KAP80173, and Lot 2 District Lot 14 ODYD Plan 7431 Except Plan KAP80173, located on 608 Sutherland Ave, 650 Sutherland Ave, and 1876 Richter St, Kelowna, BC subject to the following:

- a) THAT the dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
- b) THAT the exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule "B";
- c) Landscaping to be provided on the land be in general accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
- e) The applicant be required to satisfy the Development Engineering Branch requirements prior to issuance of the Development Permit (including consolidation of parcels);
- f) The development statistics of this Development Permit do not include the two portable structures and they must be removed prior to the final occupancy inspection for the Building Permit.

2.0 SUMMARY

This application seeks a Development Permit for the form and character of additions to St. Michael's Cathedral Church, including a workshop, lounge, classrooms, and washrooms.

3.0 ADVISORY PLANNING COMMISSION

At the September 29, 2009 meeting of the Advisory Planning Commission, it was resolved:

THAT the Advisory Planning Commission support Development Permit Application No. DP09-0117, for 1876 Richter Street; 608 & 650 Sutherland Avenue; Lots 2, 1 and 3, Plan

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7431; to approve a development permit for the form and character of additions to St. Michael's Cathedral Church, including a workshop, lounge, classrooms, and washrooms.

4.0 COMMUNITY HERITAGE COMMISSION

The application was referred to the CHC on October 1, 2009 for their comment:

Members discussed the plans and commented that this building is a landmark. Members do not want the construction to overtake the existing building. Members thought this would be a good time to approach the Church to discuss a heritage designation of the building. Maria Stanborough, Planner Specialist, will set up a meeting with a church representative to discuss designating the building heritage and will advise Members of the outcome.

5.0 SITE CONTEXT

The subject properties are located on the north side of Sutherland Avenue and the west side of Richter Street in the City Centre and are within walking distance of a wide variety of land uses and densities. Specifically, the adjacent zones and land uses are:

Direction	Zoning Designation	Land Use
North	RM5 - Medium Density Multiple Housing	Apartment buildings
East	RU6 - Two Dwelling Housing	Detached and semi-detached homes
South	RM5 - Medium Density Multiple Housing RU6 - Two Dwelling Housing	Apartment buildings, detached and semi-detached homes
West	RM5 - Medium Density Multiple Housing	Apartment buildings



6.0 PROPOSED DEVELOPMENT

The subject property is home to St. Michael's Cathedral Church and associated structures (currently a daycare and office). The applicant proposes a significant addition to the church that will create a workshop, a lounge, classroom space, and washrooms. Site plan and landscaping upgrades are also contemplated, including a defined, landscaped parking layout, additional street trees, and the removal of portable structures in favour of investment in a permanent structure.

The addition is proposed with significant exterior character and a material palette which is sympathetic to the heritage character of the church.

CRITERIA	PROPOSAL	P2 ZONE REQUIREMENTS
Subdivision Regulations		
Lot Area	5451 m ² (consolidated)	660 m ²
Lot Width	59.07 m (consolidated)	18.0 m
Lot Depth	92.28 m (consolidated)	30.0 m
Development Regulations		
Floor Area Ratio	0.21 (consolidated)	1.0
Site Coverage	19.8% for buildings 52.7% for buildings, parking areas, and roads	40% for buildings 60% for buildings, parking areas, and roads
Height	12.04 m for existing church 7.16 m for addition	13.5 m or 3 storeys
Front Yard (Richter)	~ 4.87 m (existing)	6.0 m
Side Yard (Sutherland)	~ 4.57 m (existing)	6.0 m
Side Yard (north)	~ 3.35 m (existing)	4.5 m
Rear Yard	~ 37.19 m	7.5 m
Parking	67 stalls	Office = 5 stalls Church = 61 stalls TOTAL = 66 stalls
Bicycle Parking	Class I – 1 stall (inside) Class II – 10 stalls in racks	Class I – 1 stall Class II – 10 stalls (5 per public entrance)

7.0 POLICY AND REGULATION

Kelowna 2020 - Official Community Plan

The subject property is designated as Educational/Major Institutional for future land use. Relevant policies are included below.

Heritage Policies:

Heritage Register. Use the Kelowna Heritage Register as the City's official list of properties having heritage value to allow for more fully informed decision making.

Institutional Policies:

Location of Places of Worship. Encourage places of worship to locate within the City Centre, Town Centres, Highway Centre, or Village Centres, but other sites may also be considered. Consideration for other sites should include appropriate setbacks and scale of buildings as compared to adjoining residential uses and location on an arterial or collector road.

8.0 TECHNICAL COMMENTS

Find attached.

9.0 LAND USE MANAGEMENT DEPARTMENT COMMENTS


St. Michael's Cathedral Church is on the City of Kelowna Heritage Registry and its registry entry, attached, provides a statement of significance and a list of character defining elements (including its large, dominant form on the street corner and strong architectural detailing).

The proposed addition contemplates a building form which is compatible with the existing church, but unique in its own respect. Sandstone (to match the existing church), black granite, and coloured stucco are proposed as the primary cladding materials for the addition, with oak proposed for some window and door mouldings. The roofline of the proposed addition, and the sympathetic materials proposed throughout, successfully reference the heritage character of the church without seeking to replicate or upstage the original. The proposal represents a sensitive addition to an architecturally and socially prominent Kelowna institution, as well as an excellent example of new construction alongside a valued heritage structure.

Land Use Management acknowledges that striking the correct balance of compatibility and respect for the authenticity of the original structure is difficult, and commend the applicant for the quality of their proposal and the care taken in composing it.

Staff worked with the applicant to refine the proposal to Zoning Bylaw requirements and achieved improvements to parking lot layout, site landscaping and buffering, and bike parking.

Danielle Noble
Manager, Urban Land Use

Approved for inclusion: 
Shelley Gambacort
Director, Land Use Management

Attachments

Location and zoning map
Heritage Register excerpt (2 pages)
Development Application File Circulation Report
Development Engineering technical comments (3 pages)
Renderings (4 pages)

Schedules

A (1 of 5) - Site plan (A-1)
A (2 of 5) - Lower floor plan (A-3)
A (3 of 5) - Main floor plan (A-4)
A (4 of 5) - Roof plan (A-5)
A (5 of 5) - Building sections (A-9)
B (1 of 3) - North and east elevations (A-7)
B (2 of 3) - South and west elevations (A-8)
B (3 of 3) - Material sample board (photocopy - original physical samples on file)
C - Landscape development plan (L.01)

Date Application Accepted

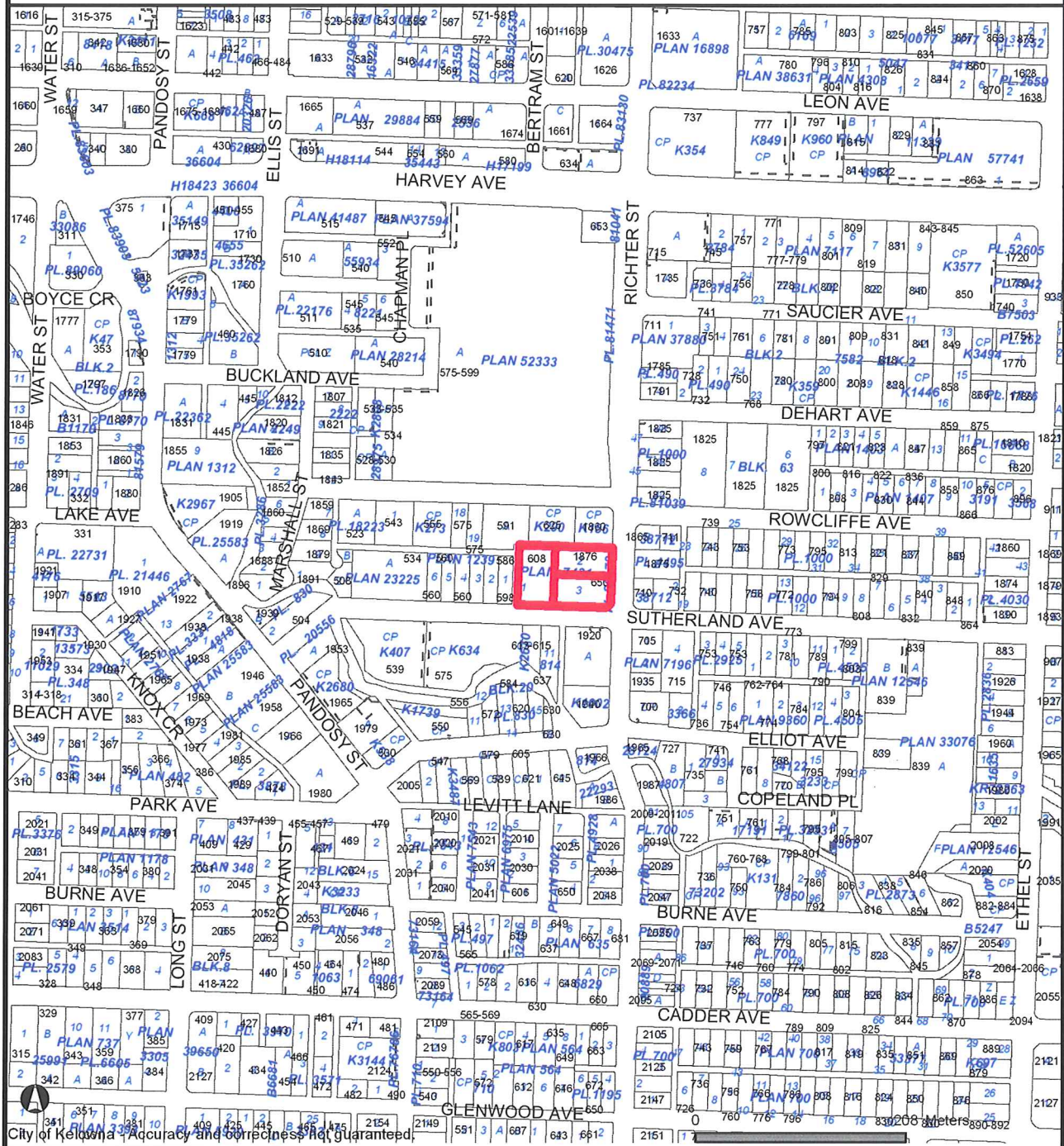
August 31, 2009 - Coordination among the design team and Church stakeholders toward achieving compliance with parking and landscaping provisions of the Zoning Bylaw resulted in delay.

Application

DP09-0117



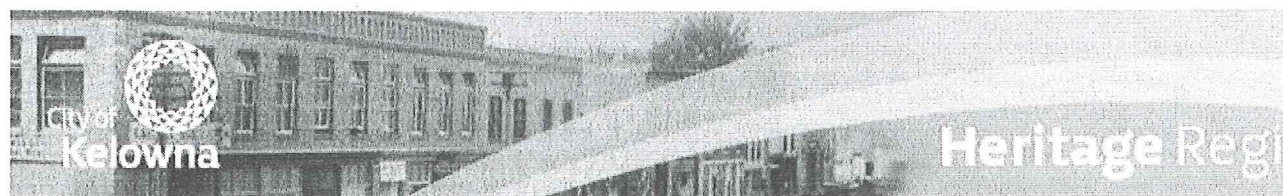
Subject Property



Map: 1,042 x 542 m -- Scale 1:6,153

2009-09-03

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



Heritage Building

608 Sutherland Ave - St Michael and All Angels Cathedral

Place The historic place is the St. Michael and All Angels Cathedral, a large stone Gothic Revival church
Description: Avenue, at the corner of Richter Street, in Kelowna's South Central Neighbourhood.

Heritage Value: The heritage significance of St. Michael and All Angels Cathedral arises from its architectural pro community focus in Kelowna since the early days of the City's development.

Built as the Parish Church of St. Michael and All Angels in 1911-13, and dedicated as a Cathedral Church in Kelowna, which had also been dedicated to St. Michael and All Angels. The predecessor Avenue and Pendozi Street (now Queensway and Ellis, where the Kelowna Centennial Museum is held only a year earlier, in Lequime's Hall. The Church is therefore important as a very early religious pioneers from England.

The rapid growth of the city in the first decade of the twentieth century encouraged the parish to close to the focus of residential development at that time, in today's South Central neighbourhood cornerstone was laid on 30 July 1911 by F.A. Taylor. The church was dedicated on 13 June 1913 assisted by its rector, the Rev. Thomas Greene (who served the Kelowna congregation for many other clergymen.

The Church of St. Michael and All Angels was designed by architect Wesley A. Peters and constructed designed and built the impressive Knox Presbyterian Church at 721 Bernard Avenue in 1909. Peter Okanagan Mission area in 1910-11, and Raymer is important for having built so many of Kelowna; having been Kelowna's first mayor. The building has value as a good example of the Gothic Revival the Gothic historicism is set within a restrained, almost proto-modernist architectural treatment.

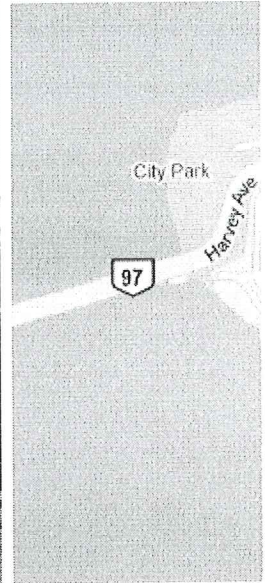
The church is built of cut stone quarried on the property of Mr. Wollaston (also rendered as Wall) original windows were plain leaded glass, but over the years they have been replaced with common and other furniture keep green the memory of many local Anglicans, including those who served carved oak pulpit given by Mr. and Mrs. William Hughes-Games in memory of their son, Flying Operations in 1944.

The building was important to the broader community as well. In 1928 radio station 10-AY (predecessor evening church services from St. Michael and All Angels Church, alternating weekends with the F

The Parish Hall, built in 1922, was replaced in 1950 with the present one. The Rectory was built in

In 1987 St. Michael and All Angels became the first cathedral in the Interior, when Bishop Fraser Kootenay.

Character - Large, dominant building at the street intersection is a neighbourhood landmark
Defining - Good example of the Gothic Revival style, inspired by Early English Gothic, seen in features such as the more common pointed arches), buttresses, and gabled roof
Elements: - Several features indicate Craftsman (Arts and Crafts) influence, including the exposed rafters a medium-pitched gable roof, and the gable decoration over the side entrances
 - The original main entrance porch, now largely hidden behind the recent entrance shelter
 - Stained-glass windows
 - Use of grey local stone with pink Okanagan Landing granite trim
 - Large yard with extensive grass, shrubs, and trees



File: DP09-0117

Application

File: DP09-0117

Type: DEVELOPMENT PERMIT

File Circulation

Seq	Out	In	By	Comment
				B.C. Assessment Authority (info only) 2009-08-31 2009-08-31
				Building & Permitting 2009-08-31 2009-09-08
2			RREADY	Handicap lift does not meet minimum size for elevator. Handicapped washrooms required on both floors. Work shop has full kitchen located in it? Canopy installation? See "Documents" Tab.
				Development Engineering Branch 2009-08-31 2009-10-08
			GDAFT	A building code analysis will determine the require travel distances in the lower level. Engineered fire flows are required to determine if existing hydrants/fire flows are adequate and if additional hydrants are necessary. Additional comments will be required at the Buiding Permit application. no comments
				Fire Department 2009-08-31 2009-09-02
				FortisBC 2009-08-31 2009-09-08
				Infrastructure Planning 2009-08-31 2009-09-08
				Policy & Planning 2009-08-31 2009-09-08
				Public Health Inspector 2009-08-31 2009-09-23
				RCMP 2009-08-31 2009-09-10
			JSHAY	RE&BS Comments for Inclusion in Council Report Please contact the Land Agent for road dedications over 20 metres in width, land dedications and land transfers to or from the City of Kelowna, road closures and road reserves. Depending on the type of land transaction being contemplated, the processing time can vary from 3 weeks to 3 months. The Real Estate & Building Services Department requires a full-sized copy, together with an 8 1/2 x 11 copy, of any survey plans no comments
				Real Estate & Building Services Manager 2009-08-31 2009-09-14
				Shaw Cable 2009-08-31 2009-09-08
				Telus 2009-08-31 2009-09-11
				Terasen Utility Services 2009-08-31 2009-09-04
				Telus has no comment regarding this application.
				Please be advised that Terasen Gas' facilities will not be adversely impacted by this proposal as the distribution pipeline is located in the roadway. Therefore, Terasen Gas has no objection to the proposal at the above-noted location.

CITY OF KELOWNA
MEMORANDUM

Date: October 1, 2009
File No.: DP09-0117

To: Land Use Management Department (AB)

From: Development Engineering Manager

Subject: 608 Sutherland Ave at Richter St Plan 7431 Lots 1,2,3 Anglican Church Addition

Development Engineering has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. ASCT

1. Domestic Water and Fire Protection

- (a) The existing lots are serviced with small diameter copper water services and one larger diameter (150mm) water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish if the existing 150mm service meets the service needs.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the decommissioning of all existing small diameters services. Service upgrades can be provided by the City at the applicant's cost.
- (c) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The developer's consulting civil / mechanical engineer will determine the requirements of this proposed development and establish the required service needs.
- (b) The existing lots are serviced with 100mm-diameter sanitary services. The applicant, at his cost, will arrange for the disconnection and capping of the existing unused services at the main.

The applicant will be required to sign a Third Party Work Order for the cost of the service upgrades and disconnects

For estimate, inquiry's please contact John Filipenko at 250-469-8581

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and /or recommendations for onsite drainage containment and disposal systems. The on-site drainage system may be connected to an existing drainage system with an overflow service.
- (b) Provide a lot-grading plan for the proposed parking Lot.

4. Road Improvements

- (a) Sutherland Avenue and Richter Street are fully urbanized. The applicant, at his cost, shall install an underground irrigation system for the frontage boulevard landscaping. No other frontage requirements are anticipated for this application.
- (b) Protect the newly constructed frontage streetscape, sidewalk and curb during construction. Replacement of damaged off-site street facilities during construction will be at the applicant's cost.

5. Subdivision Requirements

By registered plan to provide the following:

- (a) Lot consolidation of. Plan 7431 Lots 1,2,3

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

8. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics, including water sources on the site.
- (b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- (c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

9. Site Related Issues

- (a) The access locations shown at the north end of the parking lot will not function as proposed.
- (a) A revised parking lot configuration must be submitted for approval by Development Engineering before final adoption of the development permit. This is required to guarantee that the requirements and the limitations of access and egress required by the City have been addressed to the City's satisfaction.

Steve Muenz, P. Eng.
Development Engineering Manager
JF/jf

SCHEDULE A(1 of 5)
 This forms part of development
 Permit # D99-0117



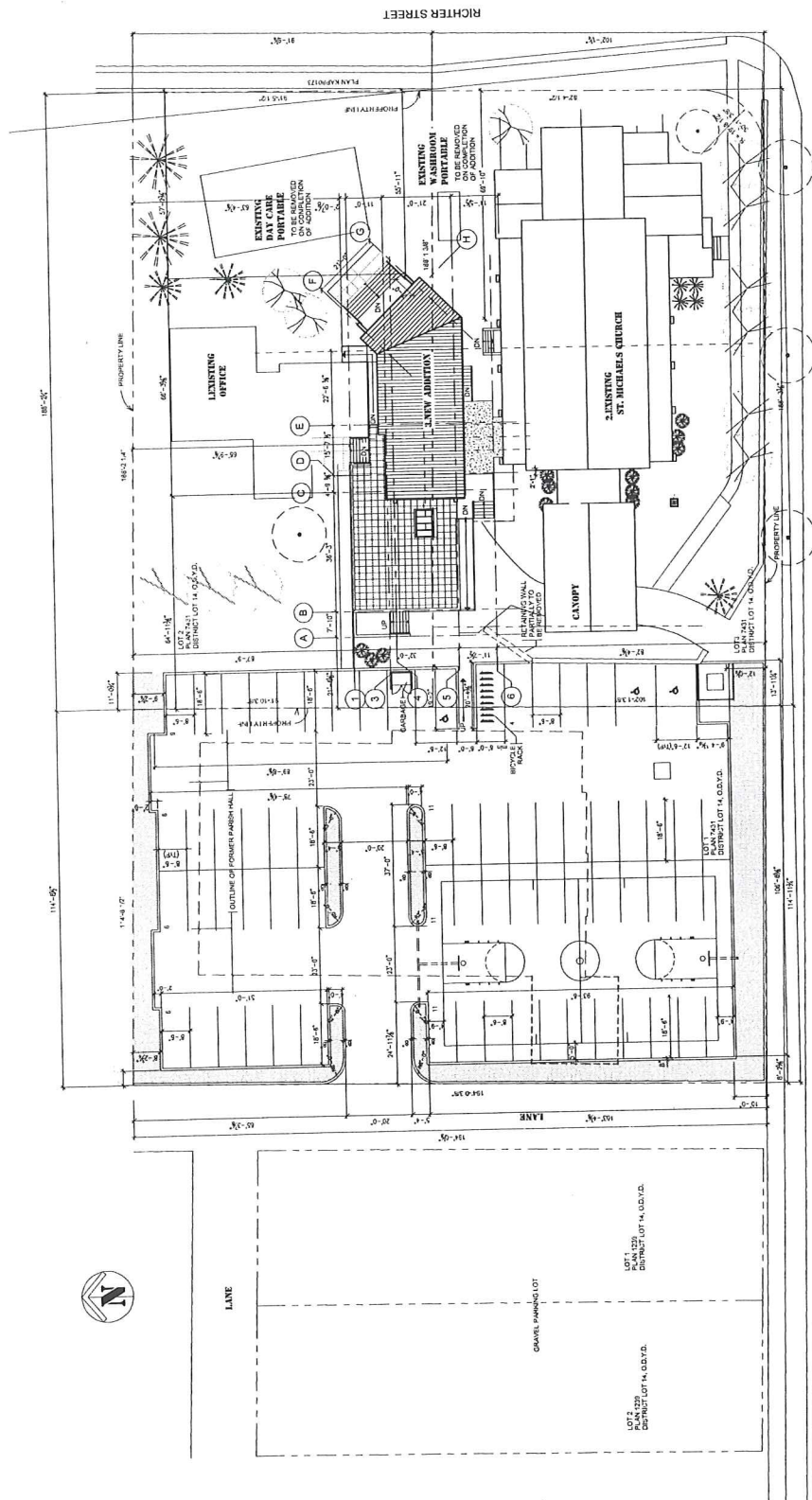
St. Michael & All Angels
 Church Addition
 608 SUTHERLAND AVENUE, KELLOWNA, B.C. V1Y 5X1



O. SOLOMY ARCHITECTS
 220 1715 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G6
 MATTY & PRINS ARCHITECTS
 1047-71 VIKAR TERRACE, KELLOWNA, B.C. V1Y 6A8

CONSULTANTS:
 REMSONS
 1550 8th Street, West
 Vancouver, BC V6P 1R1
 604-681-2222

PROJECT NO.: 0712
A-1
 DATE: JAN. 13, 2009



SITE PLAN
 SCALE: 1/16" = 1'-0"

Drawing Index

- ARCHITECTURAL**
- A-1 Site Plan
- A-2 Footing and Weeping Tile Floor Plan
- A-3 Lower Floor Plan
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- A-5 Framing Plans
- A-6 East and North Elevations
- A-7 West and South Elevations
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- A-13 Wall Sections
- A-14 Window Schedule
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- A-16 Mechanical Details
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- A-18 Landscape
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- S001 General Notes / Abbreviations
- S002 Details
- S100 Foundation Plan
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- M-01 Foundation Level
- M-02 Lower Floor Plumbing Layout
- M-03 Lower Floor Plumbing Layout
- M-04 Lower Floor Hvac Layout
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- M-10 Mechanical Specification

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- E-01 Site Plan, Symbol Legend
- E-02 Main Floor Plan
- E-03 Lower Floor Plan
- E-04 Details
- E-05 Details
- E-06 Details
- E-07 Outline Specification

Legal Description:
 LOT 14, DISTRICT 14, O.D.S.V.D.
 LOT 15, DISTRICT 14, O.D.S.V.D.
 LOT 16, DISTRICT 14, O.D.S.V.D.
 DISTRICT 14, O.D.S.V.D.

Area Calculation:
 186 m² 2007 ft²
 2,649 sq. ft. (2,649 sq. ft.)
 2,649 sq. ft. (2,649 sq. ft.)
 2,649 sq. ft. (2,649 sq. ft.)
 2,649 sq. ft. (2,649 sq. ft.)

Legend:
 Existing: Existing
 Proposed: Proposed
 Boundary: Boundary
 Easement: Easement
 Right of Way: Right of Way
 Property Line: Property Line
 Survey Point: Survey Point
 Utility: Utility
 Tree: Tree
 Fencing: Fencing
 Driveway: Driveway
 Parking: Parking
 Canopy: Canopy
 Washroom: Washroom
 Day Care: Day Care
 Office: Office
 Church: Church
 Addition: Addition



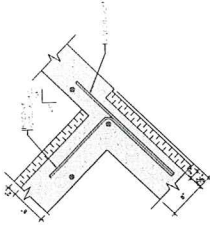
St. Michael & All Angels
Church Addition
608 SUTHERLAND AVENUE, KELLOWA, BC V1Y 5X1



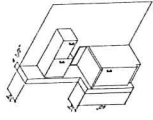
O. SOLONY ARCHITECT
220 1715 DICKSON AVENUE, KELLOWA, B.C. V1Y 9S6
PROJECT NO. 0712
DATE: JAN. 13, 2009

WALL LEGEND

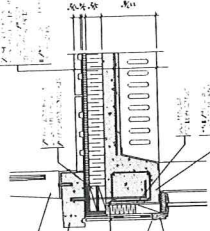
- Clay Brick Wall
- 6" Concrete Reinforced Wall
- 8" Concrete Reinforced Wall
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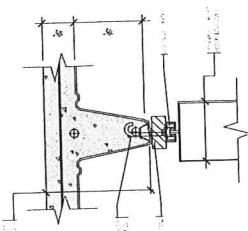
PLAN DETAIL 9
SCALE: 1" = 1'-0"



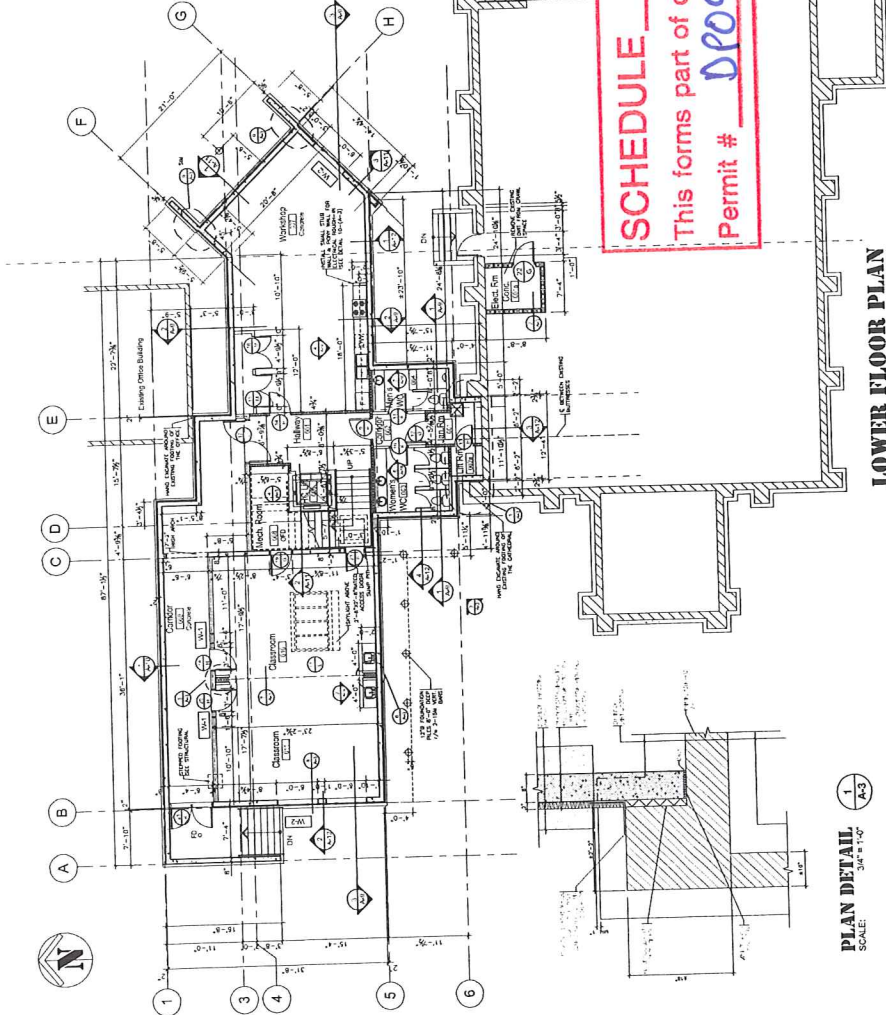
STUB & PONY WALL DETAIL 10
SCALE: 1/4" = 1'-0"



WINDOW HEADER DETAIL 8
SCALE: 1" = 1'-0"



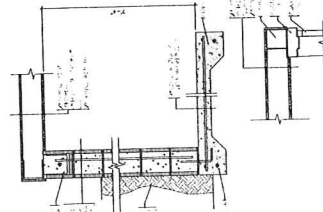
ACCORDION DOOR DETAIL 7
SCALE: 2" = 1'-0"



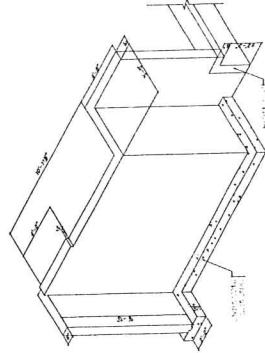
LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCHEDULE A(2, 3, 5)
This forms part of development Permit # DPO9-0117

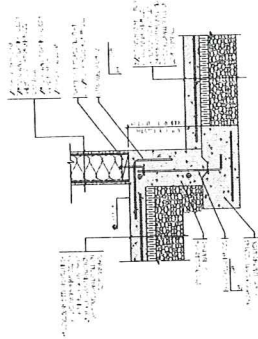
PLAN DETAIL 1
SCALE: 3/4" = 1'-0"



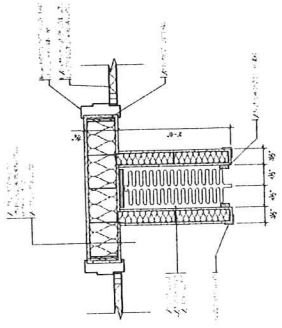
ELECTRICAL ROOM DETAILS 3
SCALE: 3/4" = 1'-0"



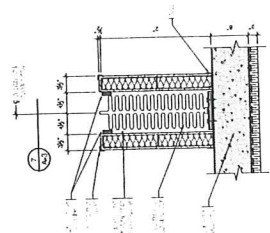
FOUNDATION CONNECTING LINK 3
SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL 4
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ACCORDION DOOR DETAIL 5
SCALE: 1" = 1'-0"



POCKET DETAIL 6
SCALE: 1" = 1'-0"



608 SUTHERLAND AVENUE, KELLOWNA, BC V1Y 5X1
**St. Michael & All Angels
 Church Addition**



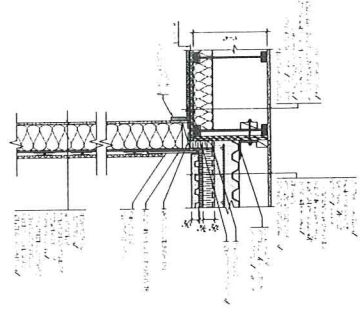
220 175 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G6
**O. SOLONY
 ARCHITECT**
 R. P. SMITH
 ENGINEERING

220 175 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G6
**O. SOLONY
 ARCHITECT**
 R. P. SMITH
 ENGINEERING

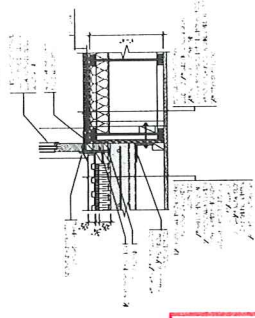
A-4

WALL LEGEND

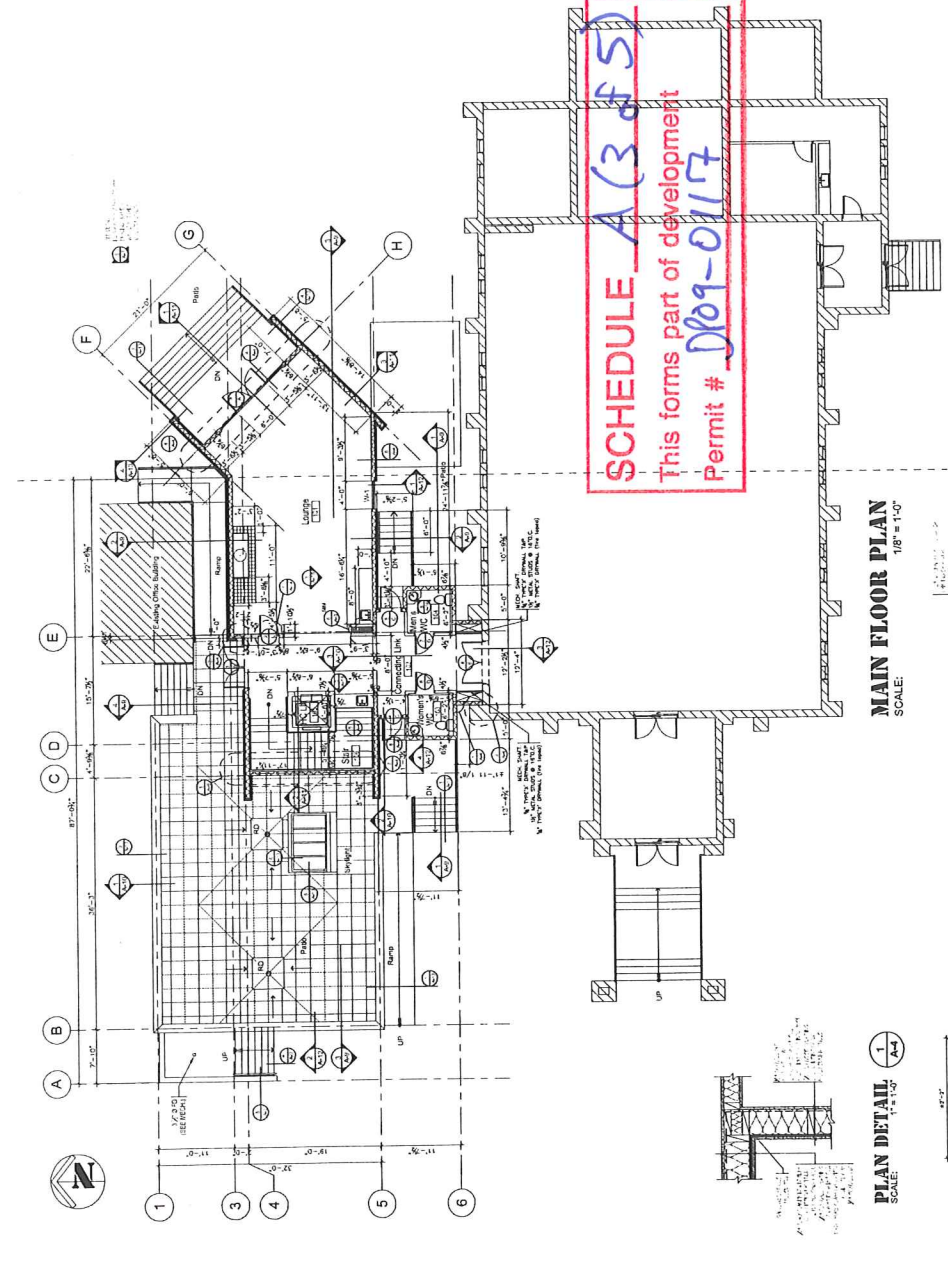
- 1. 8" Concrete Foundation Wall
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- 35. 8" Concrete Foundation Wall
- 36. 8" Concrete Foundation Wall
- 37. 8" Concrete Foundation Wall
- 38. 8" Concrete Foundation Wall
- 39. 8" Concrete Foundation Wall
- 40. 8" Concrete Foundation Wall
- 41. 8" Concrete Foundation Wall
- 42. 8" Concrete Foundation Wall
- 43. 8" Concrete Foundation Wall
- 44. 8" Concrete Foundation Wall
- 45. 8" Concrete Foundation Wall
- 46. 8" Concrete Foundation Wall
- 47. 8" Concrete Foundation Wall
- 48. 8" Concrete Foundation Wall
- 49. 8" Concrete Foundation Wall
- 50. 8" Concrete Foundation Wall



WALL DETAIL 8
 SCALE: 1" = 1'-0"
 A-4

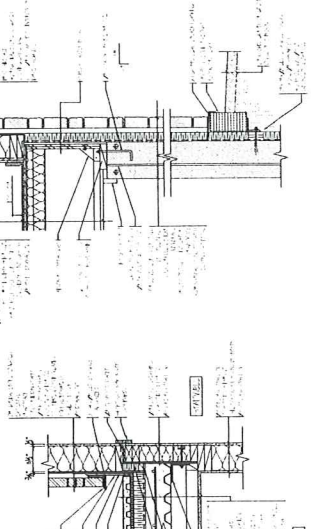


FLOOR DETAIL 7
 SCALE: 1" = 1'-0"
 A-4

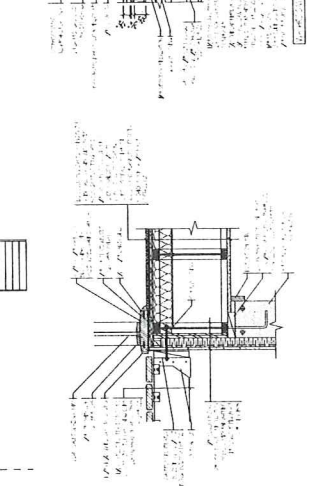


MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

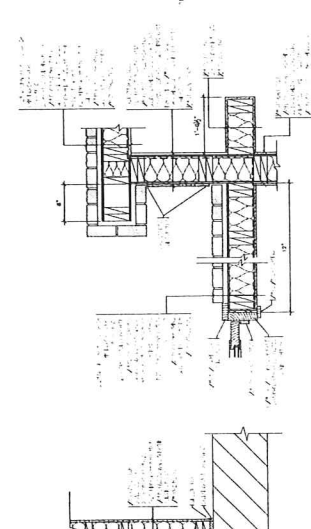
PLAN DETAIL 1
 SCALE: 1" = 1'-0"
 A-4



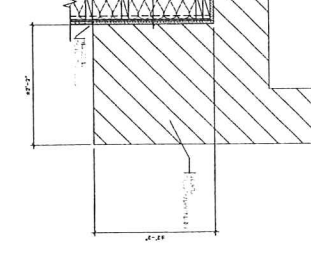
WALL DETAIL 6
 SCALE: 1" = 1'-0"
 A-4



WALL DETAIL 5
 SCALE: 1" = 1'-0"
 A-4



FLOOR DETAIL 4
 SCALE: 1" = 1'-0"
 A-4



MAIN FLOOR PLAN DETAIL 3
 SCALE: 1" = 1'-0"
 A-4



PLAN DETAIL 2
 SCALE: 1" = 1'-0"
 A-4

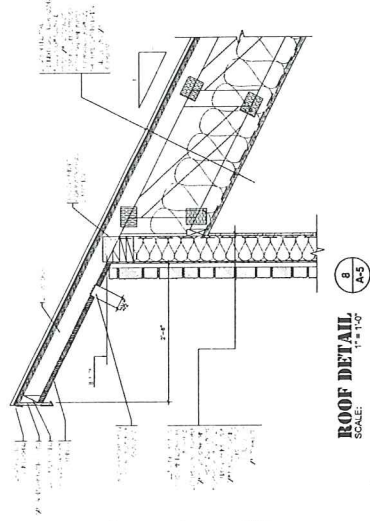


St. Michael & All Angels
Church Addition
608 SUTHERLAND AVENUE, KELOWNA, BC V1Y 5X1

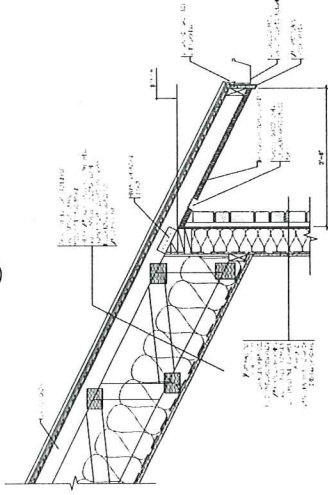


CONSULTANTS:
O. SOLOMY ARCHITECT
220 1715 DICKSON AVENUE, KELOWNA, B.C. V1Y 9S6
MULTIBY & FIRNS ARCHITECTS
1700 BROADVIEW AVENUE, KELOWNA, B.C. V1Y 9S6
REVISIONS:
REVISION NO. REVISION DATE

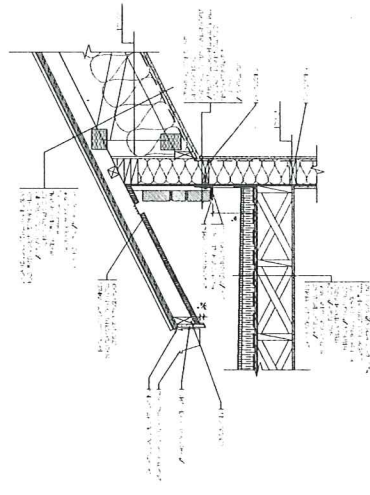
PROJECT NO.: 0712
A-5
DATE: JAN. 15, 2009



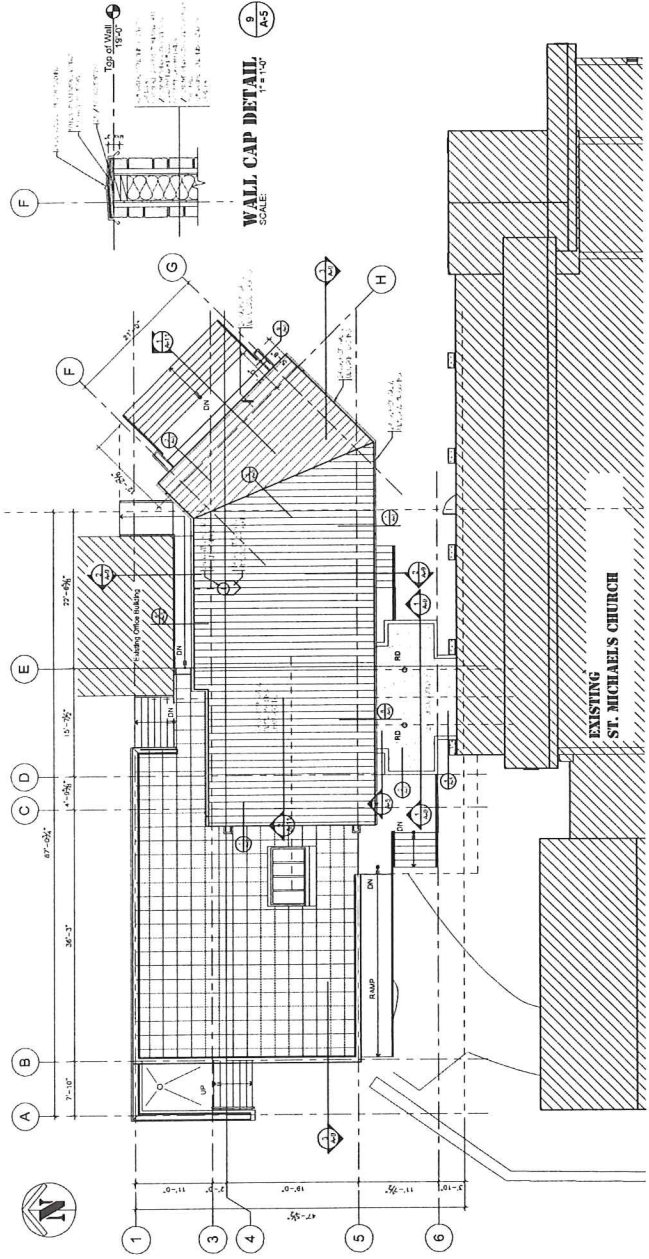
ROOF DETAIL
SCALE: 1/8" = 1'-0"



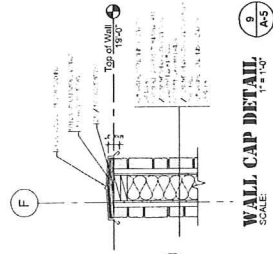
ROOF DETAIL
SCALE: 1/8" = 1'-0"



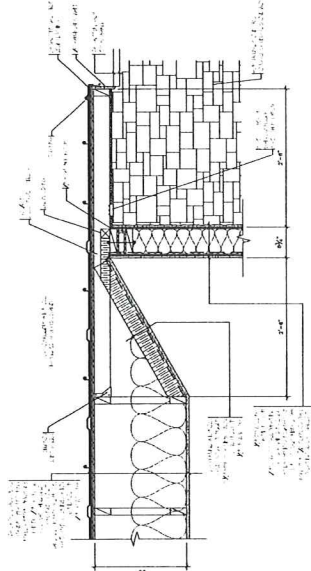
ROOF DETAIL
SCALE: 1/8" = 1'-0"



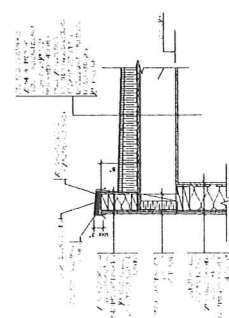
ROOF PLAN DETAIL
SCALE: 1/8" = 1'-0"



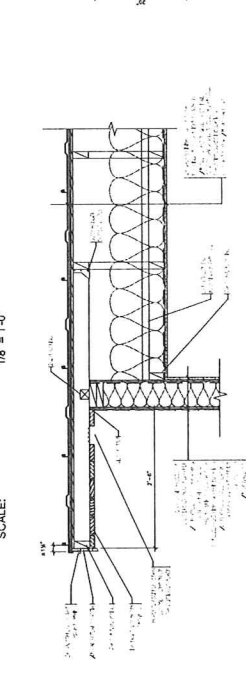
WALL CAP DETAIL
SCALE: 1/8" = 1'-0"



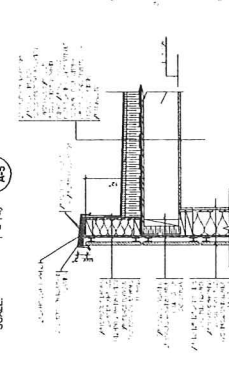
ROOF DETAIL
SCALE: 1/8" = 1'-0"



ROOF CURB DETAIL
SCALE: 1/8" = 1'-0"



ROOF DETAIL
SCALE: 1/8" = 1'-0"



ROOF CURB DETAIL
SCALE: 1/8" = 1'-0"

SCHEDULE A (4 of 5)
This forms part of development
Permit # **D09-017**



St. Michael & All Angels
Church Addition
608 SUTHERLAND AVENUE, KELLOWNA, BC V1Y 5K1



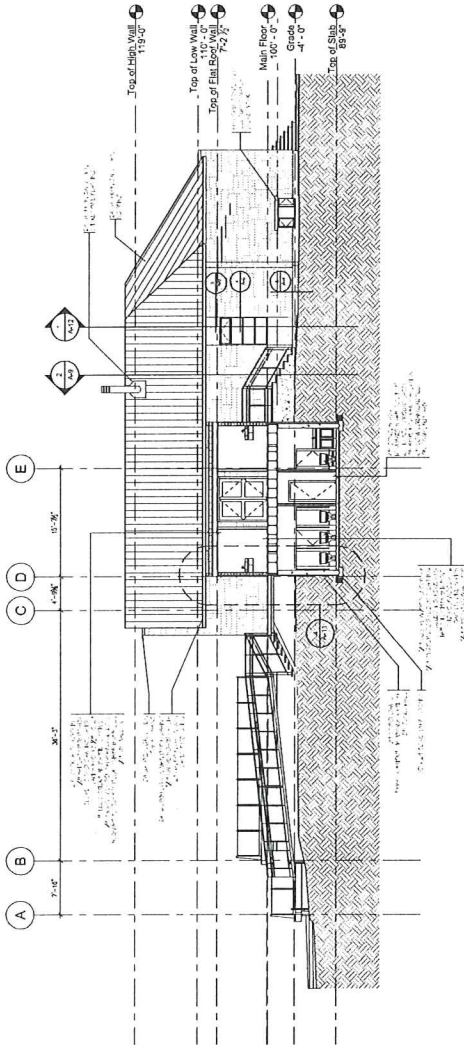
O. SOLONY ARCHITECTS
220 1715 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G8
ARCHITECTS
REGISTERED ARCHITECTS
BRITISH COLUMBIA
LICENSING BOARD
REG. NO. 12017
O. SOLONY ARCHITECTS
220 1715 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G8
ARCHITECTS
REGISTERED ARCHITECTS
BRITISH COLUMBIA
LICENSING BOARD
REG. NO. 12017

O. SOLONY ARCHITECTS
220 1715 DICKSON AVENUE, KELLOWNA, B.C. V1Y 9G8
ARCHITECTS
REGISTERED ARCHITECTS
BRITISH COLUMBIA
LICENSING BOARD
REG. NO. 12017

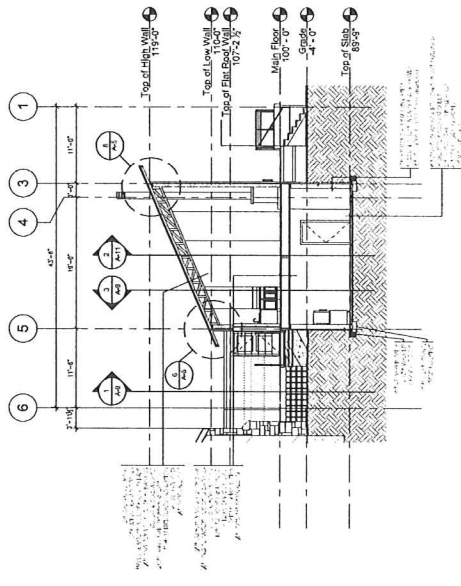
PROJECT NO.: 0712

A-9

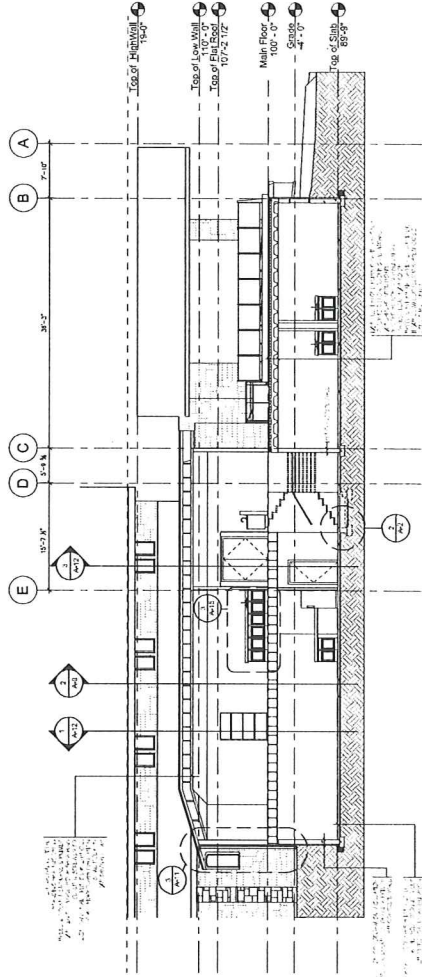
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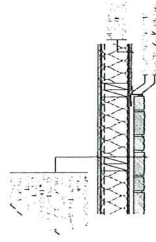
BUILDING SECTION 1
SCALE: 1/8" = 1'-0"
A-9



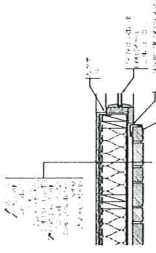
BUILDING SECTION 2
SCALE: 1/8" = 1'-0"
A-9



BUILDING SECTION 3
SCALE: 1/8" = 1'-0"
A-9



PLAN DETAIL 4
SCALE: 1" = 1'-0"
A-9



PLAN DETAIL 5
SCALE: 1" = 1'-0"
A-9

SCHEDULE A (5 & 5)
This forms part of development
Permit # D09-017



St. Michael & All Angels
Church Addition
809 SUTHERLAND AVENUE, KELOWNA, BC V1Y 8X1

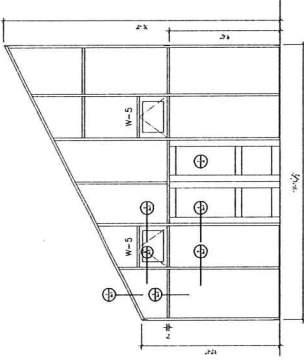


CONSULTANTS:
O. SOLONY ARCHITECT
220 1715 DICKSON AVENUE, KELOWNA, B.C. V1Y 9S6
MULTIPLY & PRINT ARCHITECTS
2000 - 1111 UNIVERSITY AVENUE, KENNESAW, GA 30144
PROFESSIONAL
LANSING ARCHITECTS
1000 WEST 11TH AVENUE, DENVER, CO 80202
ARCHITECTS
REVISIONS:
REVISIONS:
REVISIONS:

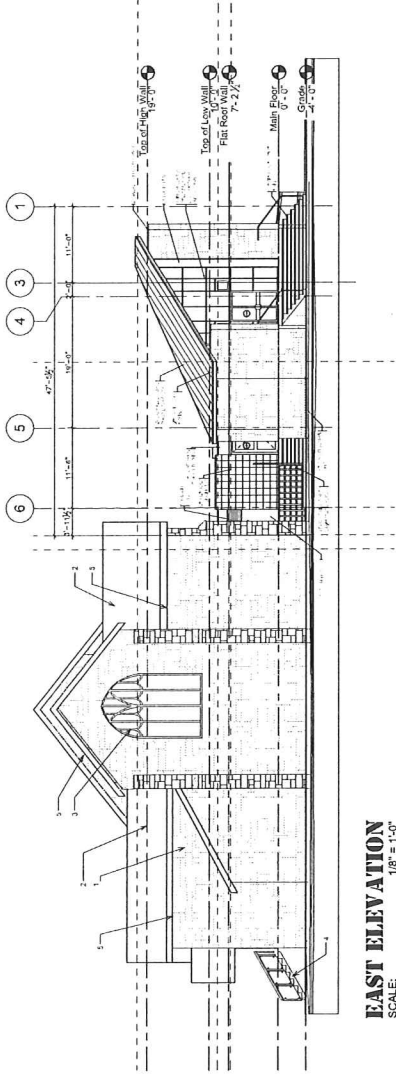
PROJECT NO.: 0712
DATE: JAN. 15, 2009

A-7

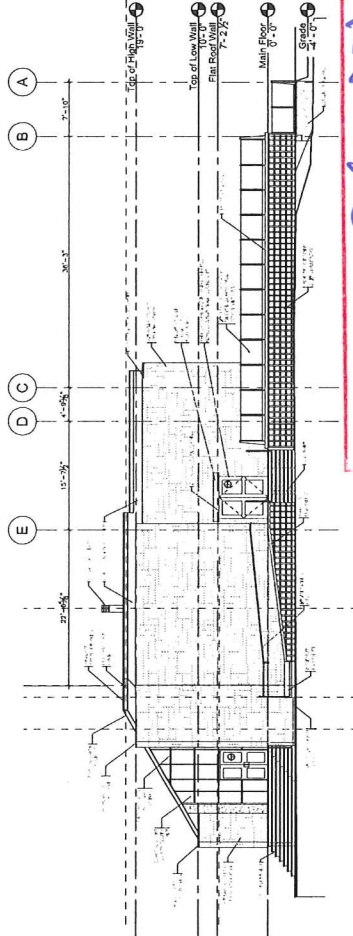
- FINISHING NOTES OF EXISTING MATERIALS**
1. Existing Sandstone Cathedral
 2. Existing Asphalt Shingles
 3. Existing Stained Glass Window
 4. Existing Concrete Stair
 5. Existing Wood Fascia, p/d.
 6. Existing Stone Chimney
 7. Existing Stucco Finish
 8. Existing Cedar Shingles
 9. Existing Sandstone Buttresses



ELEVATION OF BRACING FRAME
SCALE: 1/4" = 1'-0"
A-7

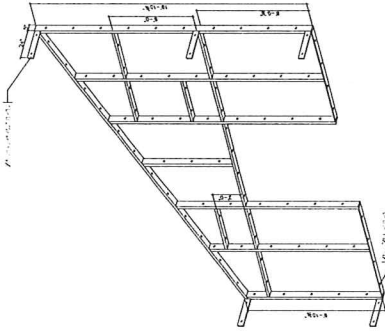


EAST ELEVATION
SCALE: 1/8" = 1'-0"

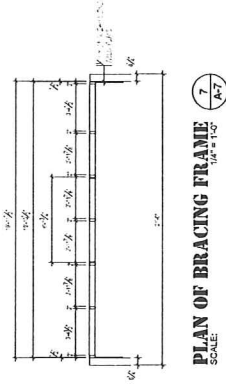


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

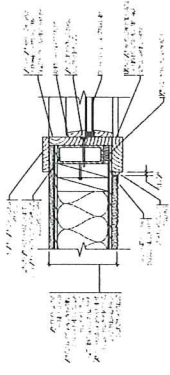
SCHEDULE B (1 of 3)
This forms part of development
Permit # D09-0117



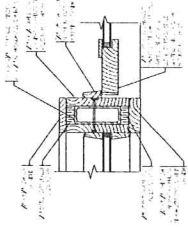
ISOMETRIC OF BRACING FRAME
SCALE: 1/4" = 1'-0"
A-7



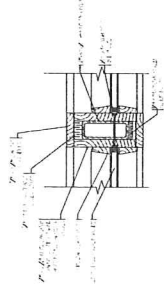
PLAN OF BRACING FRAME
SCALE: 1/4" = 1'-0"
A-7



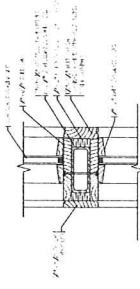
STEEL FRAME JAMB DETAIL
SCALE: 2" = 1'-0"
A-7



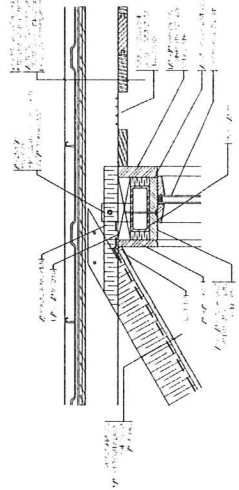
STEEL FRAME JAMB DETAIL
SCALE: 2" = 1'-0"
A-7



STEEL FRAME MULLION DETAIL
SCALE: 2" = 1'-0"
A-7



STEEL FRAME TRANSOM DETAIL
SCALE: 2" = 1'-0"
A-7



STEEL FRAME HEADER DETAIL
SCALE: 2" = 1'-0"
A-7

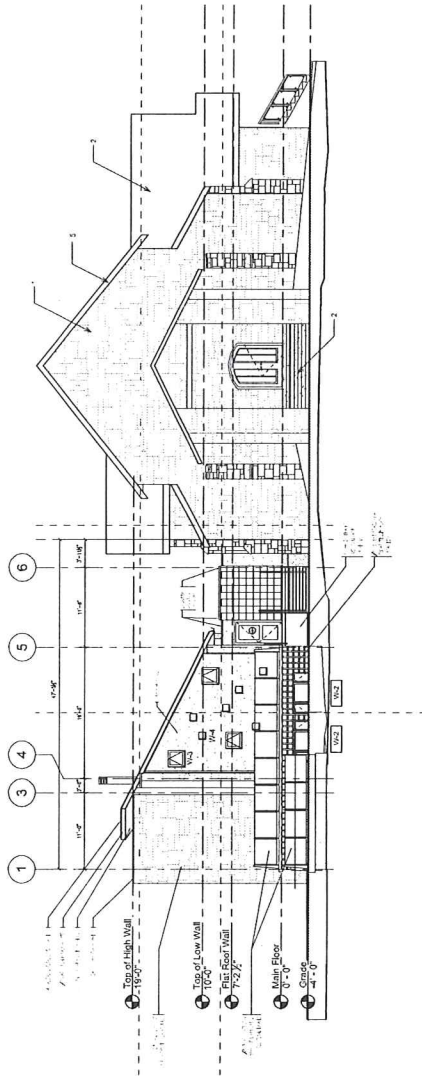


St. Michael & All Angels
Church Addition
809 SUTHERLAND AVENUE, KELOWNA, BC V1Y 5X1



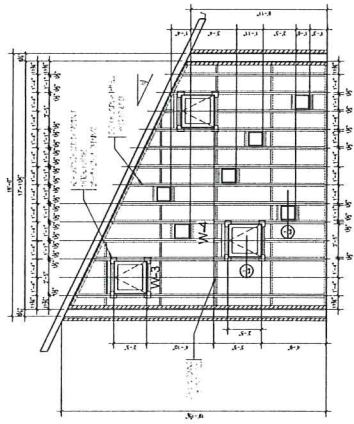
O. SOLOMY ARCHITECT
220 1715 DICHSON AVENUE, KELOWNA, B.C. V1Y 9G6
MATTY & PIRNIA ARCHITECTS
1800-11 AVENUE, SHERBOURNE, ONTARIO
CONSULTANTS
ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
ENGINEERING
ENVIRONMENTAL ENGINEERING
PLANNING
CONSTRUCTION MANAGEMENT
PROJECT MANAGEMENT
RESEARCH
CONSULTANTS

PROJECT NO.: 0712
A-8
DATE: JAN. 13, 2009

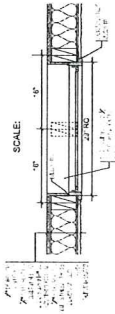


WEST ELEVATION
SCALE: 1/8" = 1'-0"

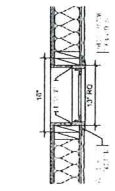
SCHEDULE B (2 of 3)
This forms part of development
Permit # **D809-0117**



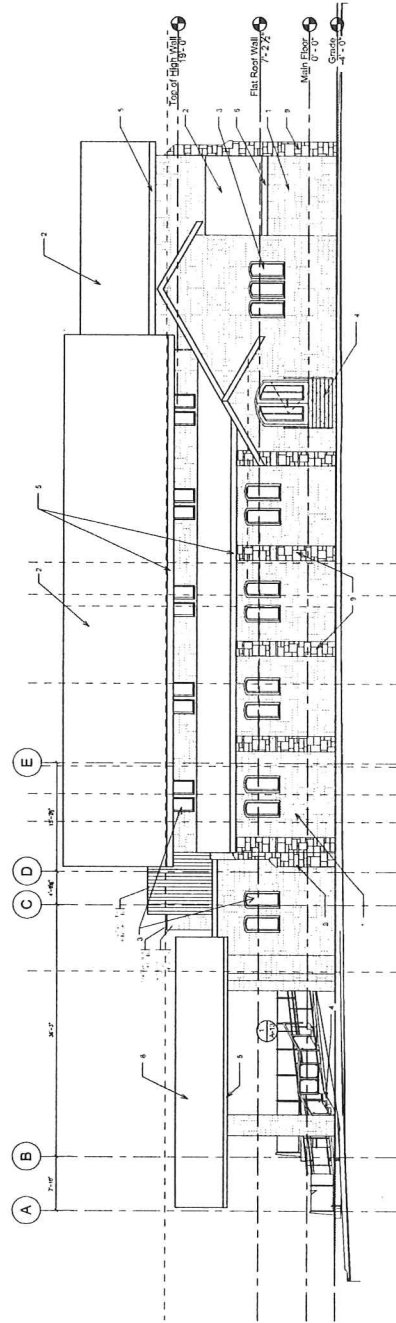
WEST WALL FRAMING ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW DETAIL 2
SCALE: 1/4" = 1'-0"



WINDOW DETAIL 3
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- FINISHING NOTES OF EXISTING MATERIALS**
- Existing Sandstone Cathedral
 - Existing Asphalt Shingles
 - Existing Stained Glass Window
 - Existing Concrete Stair
 - Existing Wood Fascia, ptd.
 - Existing Stone Chimney
 - Existing Stucco Finish
 - Existing Cedar Shingles
 - Existing Sandstone Buttresses



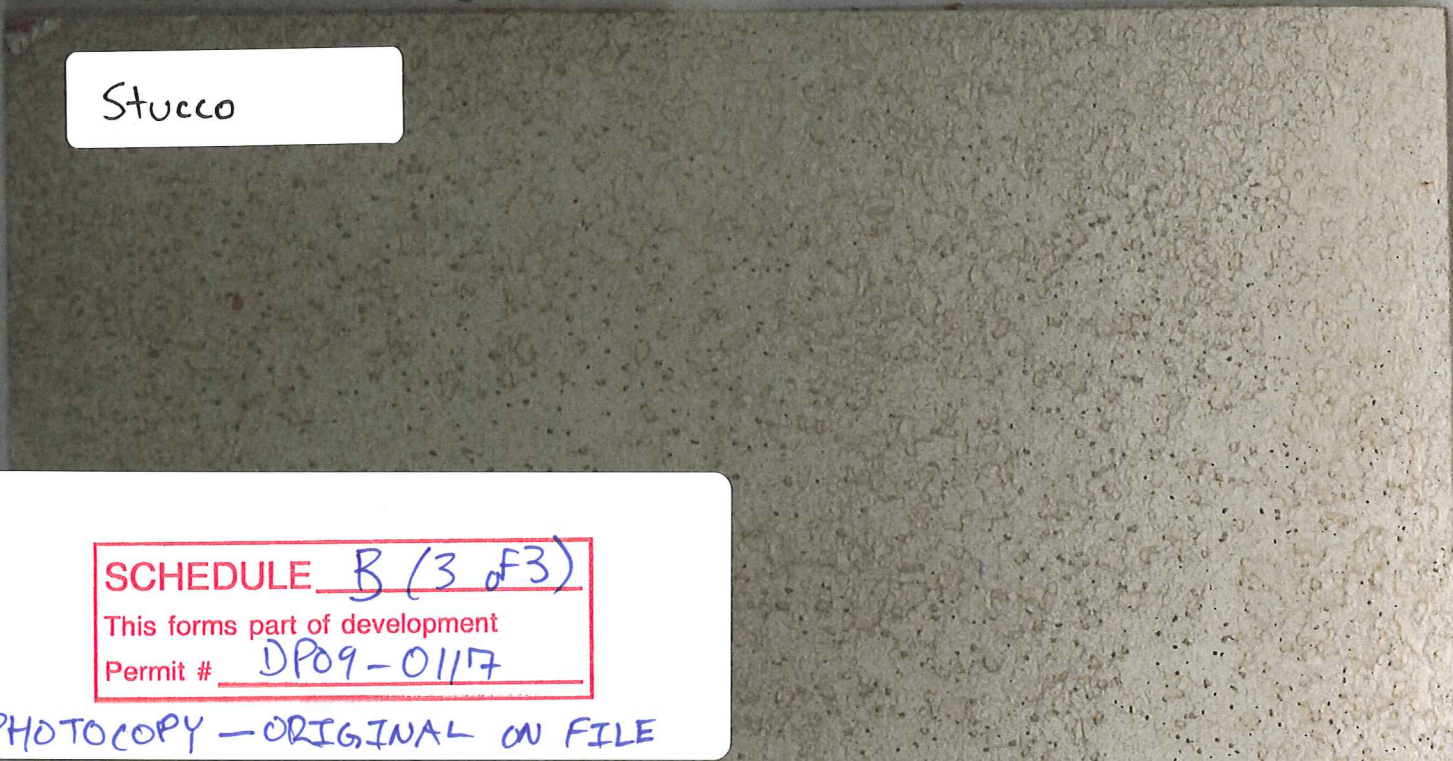
Oak



Sandstone of Existing Church



Black Granite



Stucco

SCHEDULE B (3 of 3)
 This forms part of development
 Permit # DP09-0117

PHOTOCOPY - ORIGINAL ON FILE

notes

MUNICIPAL ADDRESS
 608 SUTHERLAND AVENUE
 KEOLOWNA, BRITISH COLUMBIA
 V1Y 5X1

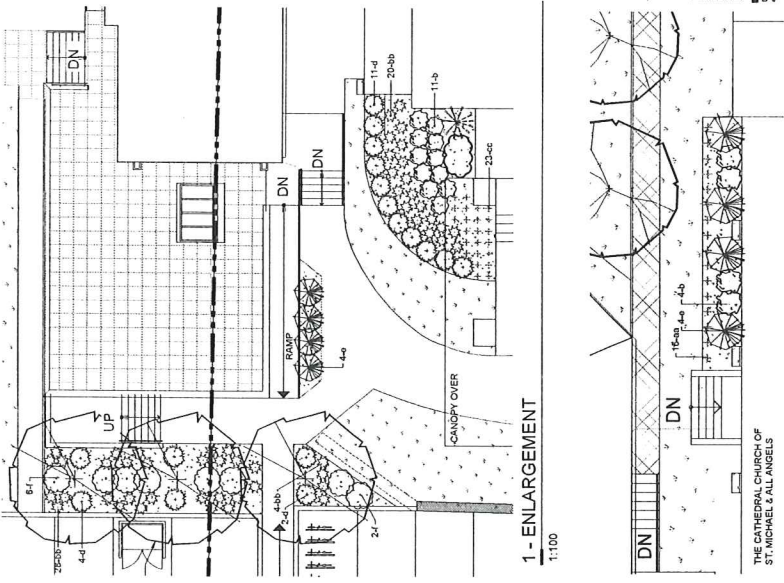
APPROVED FOR DEVELOPMENT PERMIT, 2009-05-18
 2. APPROVED FOR DEVELOPMENT PERMIT, 2010-05-18
 3. APPROVED FOR DEVELOPMENT PERMIT, 2010-05-18
 4. APPROVED FOR DEVELOPMENT PERMIT, 2010-05-18
 5. APPROVED FOR DEVELOPMENT PERMIT, 2010-05-18



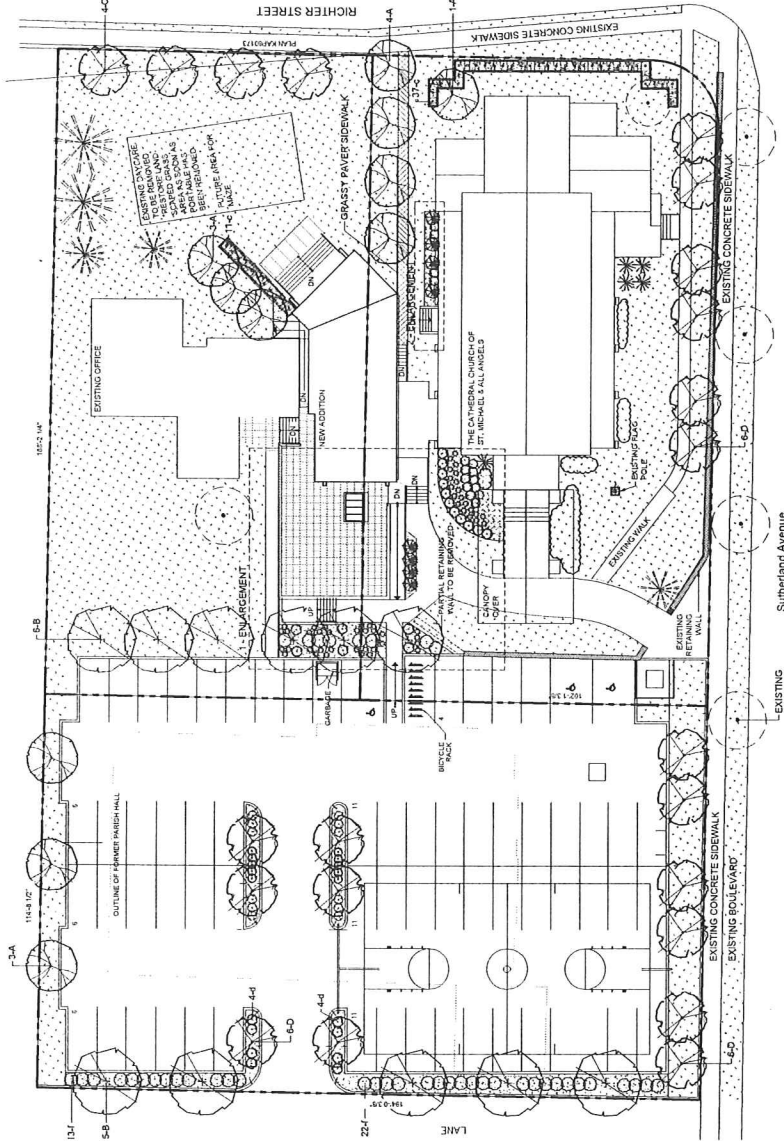
design | DW/LA
 drawn | JS
 date | May 06, 2010
 checked | DW
 scale | AS NOTED

any gross or omissions in the drawing or any discrepancy between the specifications and the drawing shall be the responsibility of the landscape architect at construction, interpretation and revisions before proceeding with work.

project | ST. MICHAEL & ALL ANGELS - ADDITION
 KEOLOWNA, BC
 for | MULLIK & PRINS
 ENCHICTON, ALBERTA
 drawing | LANDSCAPE DEVELOPMENT PLAN
 sheet | L01 issue no. | 04



OVERALL LANDSCAPE PLAN
 1:200



1 - ENLARGEMENT
 1:100

2 - ENLARGEMENT
 1:75

LEGEND

- PROPERTY LINE
- METAL EDGER
- EXISTING GRASS TO REMAIN, TOPDRESS & SEED BARE OR CONSTRUCTION DAMAGED AREAS
- 75mm DEPTH SMALL 25-50mm FIREHLOCK BARK CHIP MULCH OVER PRE-EMERGENT HERBICIDE TREATMENT.
- EXISTING TREES
- EXISTING SHRUBS
- EXISTING STONE RETAINING WALL

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACE	COND.
TREES						
A	11	AMELANCHIER ARBOREA (TREE FORM)	SERVICEBERRY	50mm CAL.	AS SHOWN	B&B
B	11	CRATAEGUS X WOODENSIENSIS 'SNOWBIRD'	SNOWBIRD HAWTHORN	50mm CAL.	AS SHOWN	B&B
C	04	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	50mm CAL.	AS SHOWN	B&B
D	18	TILIA AMERICANA	AMERICAN LINDEN	50mm CAL.	AS SHOWN	B&B
SHRUBS						
a	10	BERBERIS THUNBERGI 'CHERRY BOMB'	CHERRY BOMB BARBERRY	600mm HT.	AS SHOWN	CONT.
b	15	CORNUS STOLONIFERA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	600mm HT.	AS SHOWN	CONT.
c	48	COTONEASTER LUCIDUS	HEDGE COTONEASTER	600mm HT.	AS SHOWN	CONT.
d	25	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	600mm SP.	AS SHOWN	CONT.
e	8	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	600mm SP.	AS SHOWN	CONT.
f	43	SYRINGA PRESTINIAE	PRESTON LILAC	600mm HT.	AS SHOWN	CONT.
g	12	WEIGELA FLORA 'MINUET'	MINUET WEIGELA	600mm HT.	AS SHOWN	CONT.
PERENNIALS						
BB	39	BERGENIA CORDIFOLIA	ELEPHANT EARS	150mm POT	AS SHOWN	POT
BB	52	HEMEROCALLIS X STELLA DE ORD'	STELLA DE ORD DWARF DAYLILLY	150mm POT	AS SHOWN	POT
CC	23	HOSTA	HOSTA	150mm POT	AS SHOWN	POT

SCHEDULE C
 This forms part of development Permit # D809-0117

DEVELOPMENT PERMIT DRAWING
 ONLY - NOT FOR CONSTRUCTION



PROJECT NORTH

